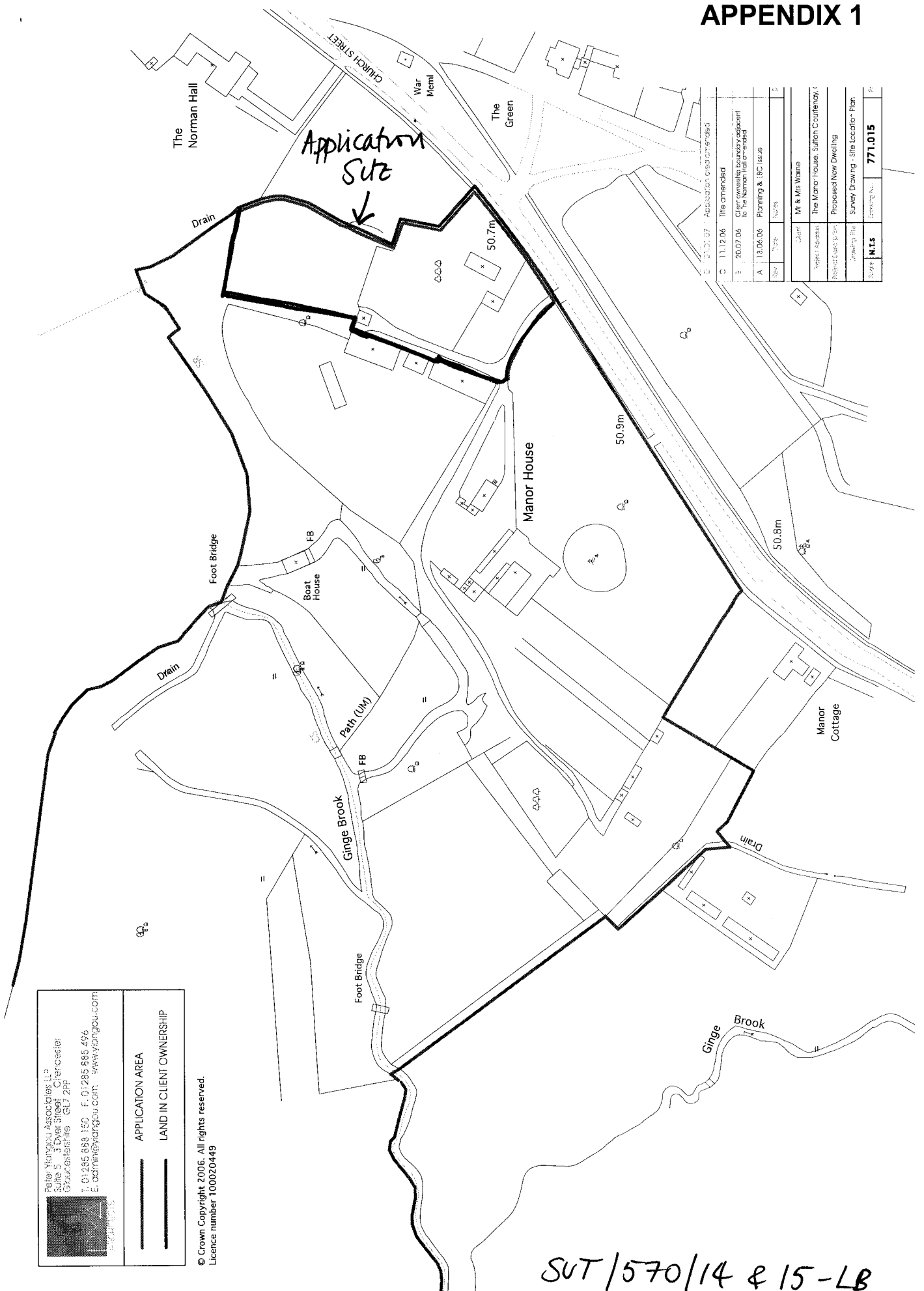



APPENDIX 1



C	11.12.06	Title amended
E	20.07.06	Client requested boundary adjacent to The Norman Hall amended
A	13.06.06	Planning & BC Issue
Rev	Date	Notes
		Mr & Mrs Waine
		The Manor House, Surton Courtenay, York
		Proposed New Dwelling
		Survey Drawing - Site Location Plan
Scale	N.T.S	Drawing No. 771.015



Peter Yongou Associates Ltd.
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 E: admin@yongou.com www.yongou.com

APPLICATION AREA

LAND IN CLIENT OWNERSHIP

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 Licence number 100020449

SUT/570/14 & 15-LB

SITE SURVEY



THIS SURVEY WAS UNDERTAKEN BY
 HOLLAND SURVEY LTD, SOUTHAM, WARKS
 ON 15/01/2014 FOR CLIENT 11111

NO.	DATE	DESCRIPTION	BY
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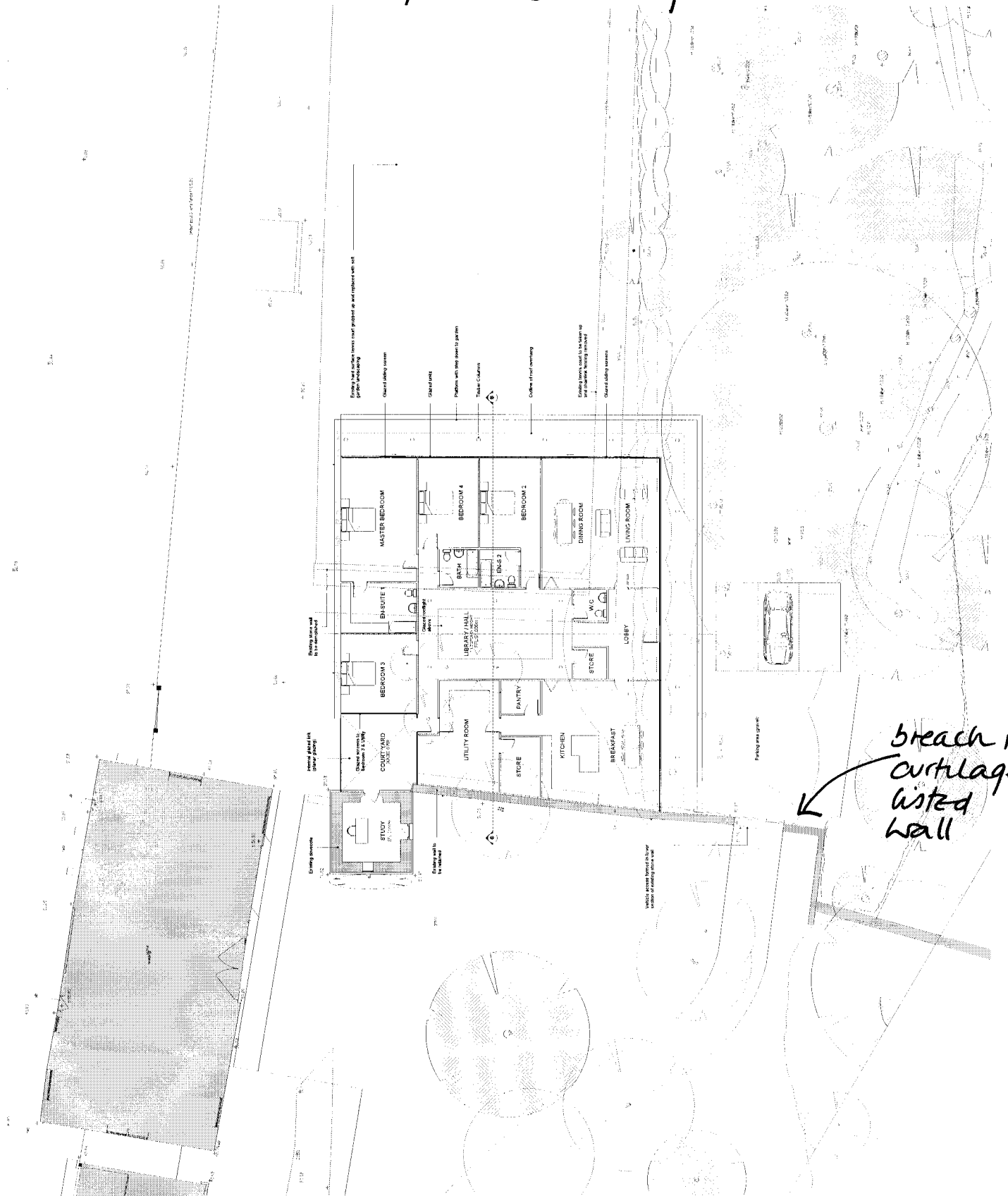
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General Notes:	<p>1. To be read in conjunction with other construction drawings.</p> <p>2. Any discrepancies to be reported directly to the Architect.</p> <p>3. All work to be done in accordance with the current edition of the Building Code of Australia.</p> <p>4. All work to be done in accordance with the current edition of the Building Code of Australia.</p> <p>5. WARNING: This drawing is issued in colour.</p>
Schedule of materials to proposed Extensions & Alterations:	<p>Roof: Single Ply Flat Roof in Grey</p> <p>Walls: Existing walls to be retained with new plaster and render to remaining faces</p> <p>Windows: Powdercoated metal frames with double glazing units</p> <p>Doors: Existing doors with powdercoated metal frames</p> <p>Paintwork: Painted cast iron with lugger heads</p>
Key:	<p>Proposed demolitions</p> <p>New timber columns</p> <p>Existing building fabric</p> <p>New construction on plan</p> <p>Items to be removed</p>

Floor plan of Proposed Drivelling



Project No:	771 130
Client:	Mr & Mrs Jones
Architect:	John Doe
Date:	15/10/2023
Scale:	1:100
Sheet No:	1 of 1



SUT/570/14 & 15-LB

General Notes:
 1. To be used in conjunction with other construction drawings.
 2. Any discrepancies to be reported directly to the Architect.
 3. All work to be done in accordance with the approved drawings.
 4. Do not scale or dimension. Use figured dimensions only.
 5. WARNING: This drawing is issued in colour.

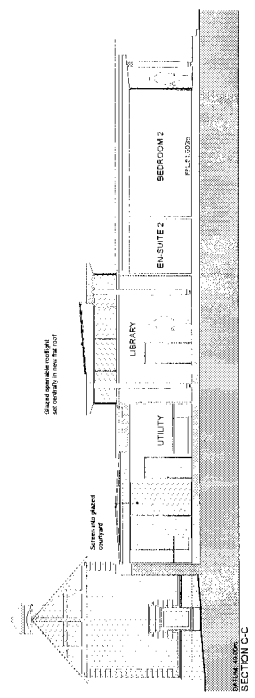
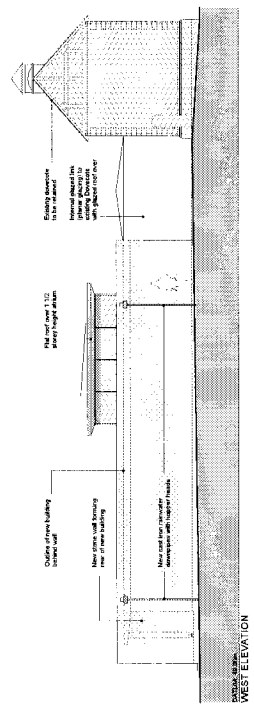
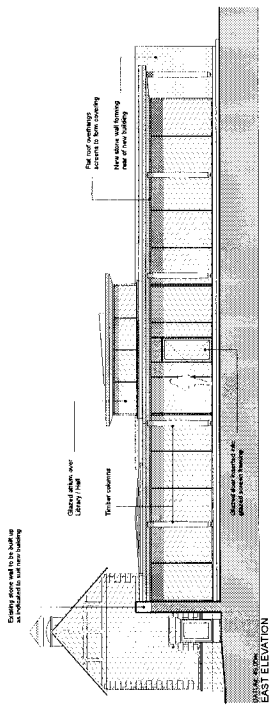
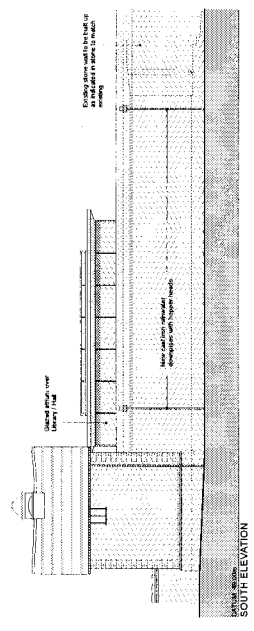
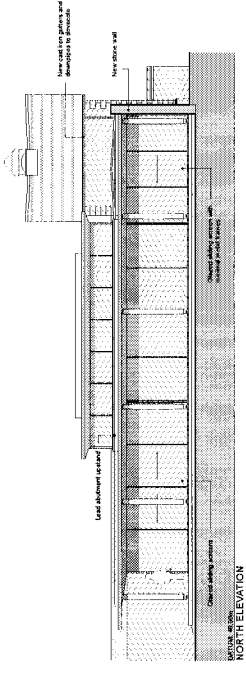
Schedule of materials to proposed Extensions & Alterations:

- Roof:** Single Ply, Flat Roof in Grey
- Walls:** Existing brickwork to be retained. Full glazed sections with 100mm insulation.
- Windows:** Powdercoated metal frames with double glazed inserts.
- Doors:** Powdercoated metal frames with double glazed inserts.
- Rainwater:** Painted cast iron with hopper heads.

- Key:**
- Proposed demolition
 - Proposed new fabric (Elev)
 - Existing fabric (Elev)
 - New glazing
 - New timber posts
 - Existing balling fabric
 - New construction in section

Proposed Elevations

Rev	Date	By	Checked
A	11/12/20	Planning & EPC team	DK
<p>www.willmott-davis.com 11, Church Lane, London, E14 5PU Tel: 020 7460 8000 Fax: 020 7460 8001 Email: info@willmott-davis.com</p>			
W & A No. 0000			
Ref: Newham College Students' Centre			
Project Name: Proposed New Building - Decorative Use			
Location: Former Drawing - Issue: Revision A Section			
Scale:	771/131	Rev:	A



SUT/570/14 & 15-LB

GENERAL NOTES:

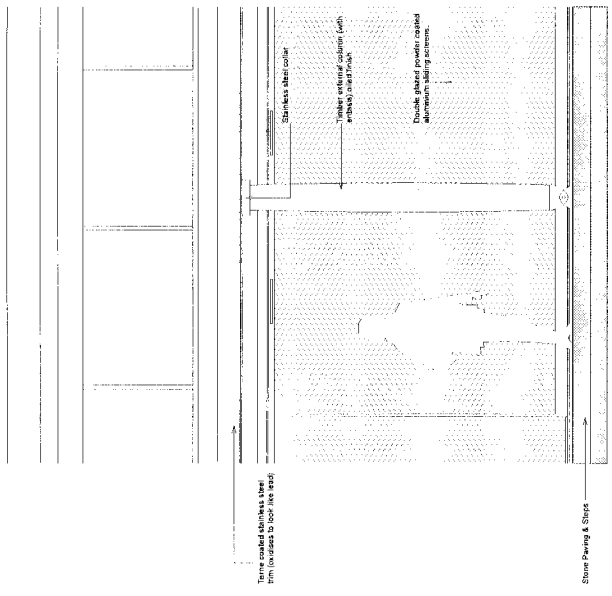
1. To be read in conjunction with other consultants drawings.
2. All work to be done in accordance with the relevant standards.
3. All work to be done in accordance with the relevant standards.
4. If BIDDING AND CONTRACTING, the Bidder shall be responsible for the accuracy of the information provided in this drawing.
5. VAVI/MSD The drawing is issued in colour.

Schedule of materials to proposed Extensions & Alterations:

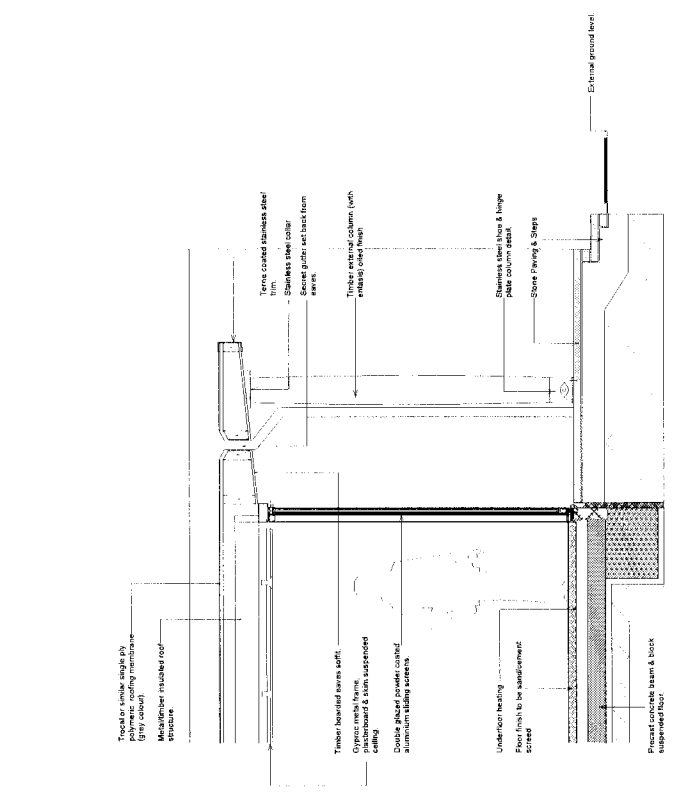
Roof:	Single Ply Flat Roof in G rry
Walls:	Local ductile masonry coupled rubble masonry to existing walls. Lighted sections to remaining blocks.
Windows:	Powdercoated metal frames with double glazing inserts.
Doors:	Fully glazed with powdercoated metal frames. Part set with bronze handle & stone work. Aluminium downpipes to glassed facades.
Remainder:	

Details of Construction

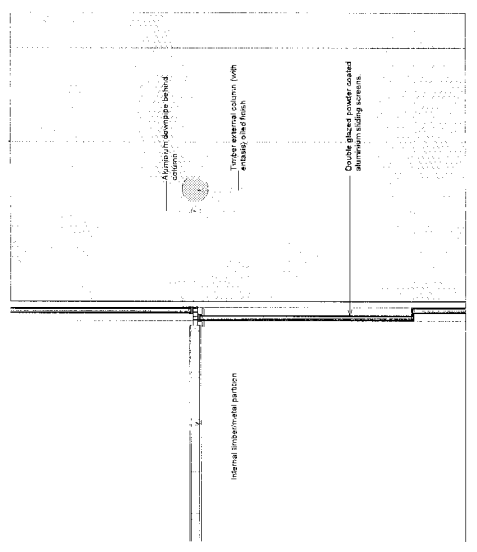
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ELEVATION

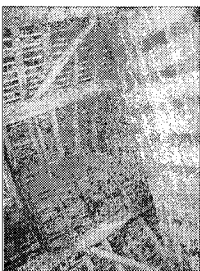
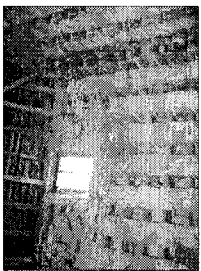


SECTION



PLAN

SUT/570/14 & 15-LB



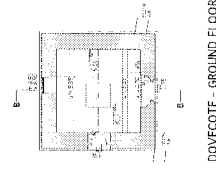
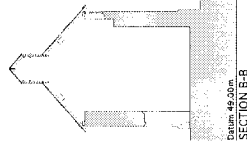
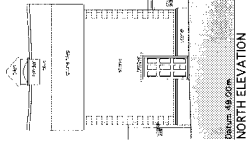
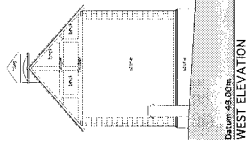
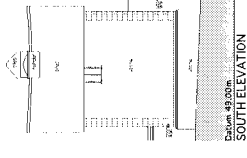
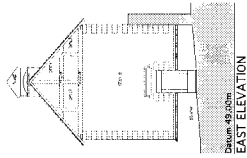
SUT / 570 / 14 & 15 - LB

General Notes:

1. To be read in conjunction with other consultants drawings.
2. Any discrepancies to be reported directly to the Architect.
3. Do not scale off drawings. Use figured dimensions only.
4. Do not scale off drawings. Use figured dimensions only.
5. WARNINGS: This drawing is issued in colour.

KEY:

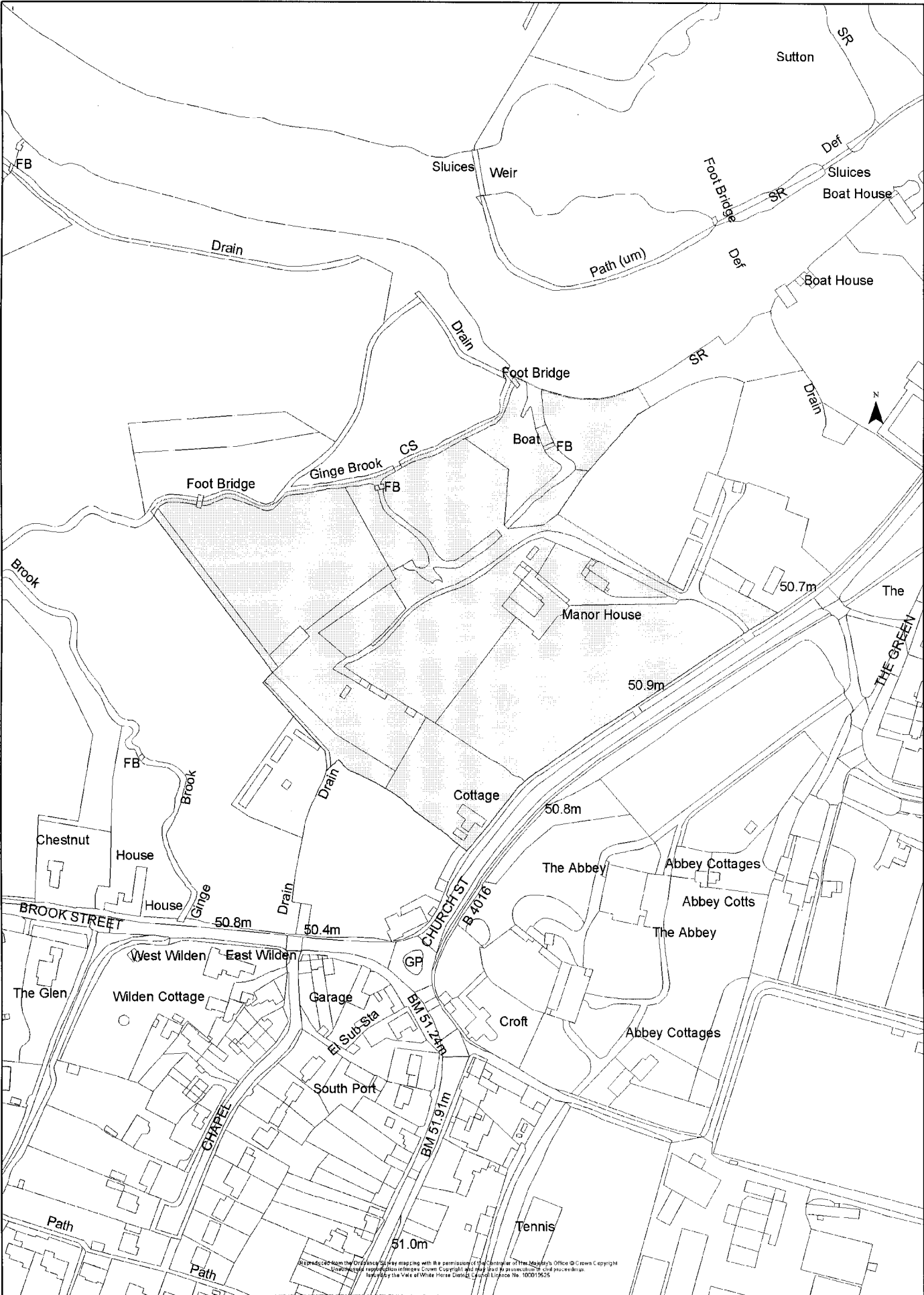
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102	Insulation Cover
103	Insulation Level
104	Insulation Level
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106	W/L: Water Filled Channel
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THIS SURVEY WAS UNDERTAKEN BY
MILNER ARCHITECTS LTD
100, DUNDEE ROAD, DUNDEE, DD1 1AA

1	DATE	15/11	15/11	15/11	15/11
2	TIME	10:00	11:00	12:00	13:00
3	PERSONS	1	2	3	4
4	REMARKS	The survey was undertaken by the architect's staff on the above dates and times.			
5	SCALE	1:50			
6	PROJECT	Dovecote			
7	CLIENT	The Trustees of Dovecote			
8	NO. OF SHEETS	8			
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Dovecote



SUT | 570 | 14 & 15 - LB

Sutton Courtenay Parish Council

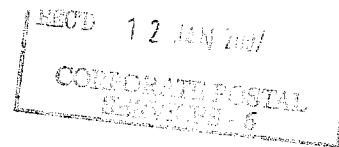
Clerk: Mrs. L. A. Martin B.A.

Telephone/Fax: Frilford Heath
(01865 391833)

Orchard House,
90 Howard Cornish Road,
Marcham, Abingdon,
Oxfordshire OX13 6PU

Mrs. G. Le Cointe,
Planning Services,
Vale of White Horse District Council,
Abbey House,
Abingdon,
Oxon.
OX14 3JE

APPENDIX 3



9th January, 2007

Dear Mrs. Le Cointe,

**SUT/570/14 Erection of a 4 bedroom single storey dwelling incorporating a grade II listed dovecote and associated external works
Manor House, Church Street
For: Mr. and Mrs. A. Warne**

The Parish Council objects to this application. The design of dwelling is not in keeping with the historic buildings around the area and the design and materials with large quantities of glass do not reflect any of the nearby properties. The development, by virtue of its design represents an incongruous and inappropriate form of development. It detracts from the character and appearance of this part of the village, harming the form, structure and open space character of the settlement, and thereby having a harmful impact on the heart of the village and conservation area. Historically dovecotes were designed as separate buildings to be a feature of the landscape. The Parish Council would prefer to see the dovecote remain as a separate building.

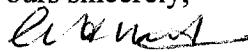
The proposal is not in keeping with the application for the conversion of the adjacent barns to residential use which has already been approved and where the design was to use traditional materials.

Policy HE1 of the Local Plan only permits development within a conservation area where the proposal preserves or enhances the character and appearance of the area. This is not the case with the current application and the nature of the area would change if consent were granted setting a precedent for further similar development.

Thames Water Utilities Ltd has been carrying out checks on the sewage systems in the village, in that there have been several episodes of overflowing. The Council is of the opinion that the construction of a further dwelling would only exacerbate the current problems.

The Parish Council would urge that this application be refused.

Yours sincerely,


L.A. Martin
Clerk to the Council

SUT/570/14 & 15-4B